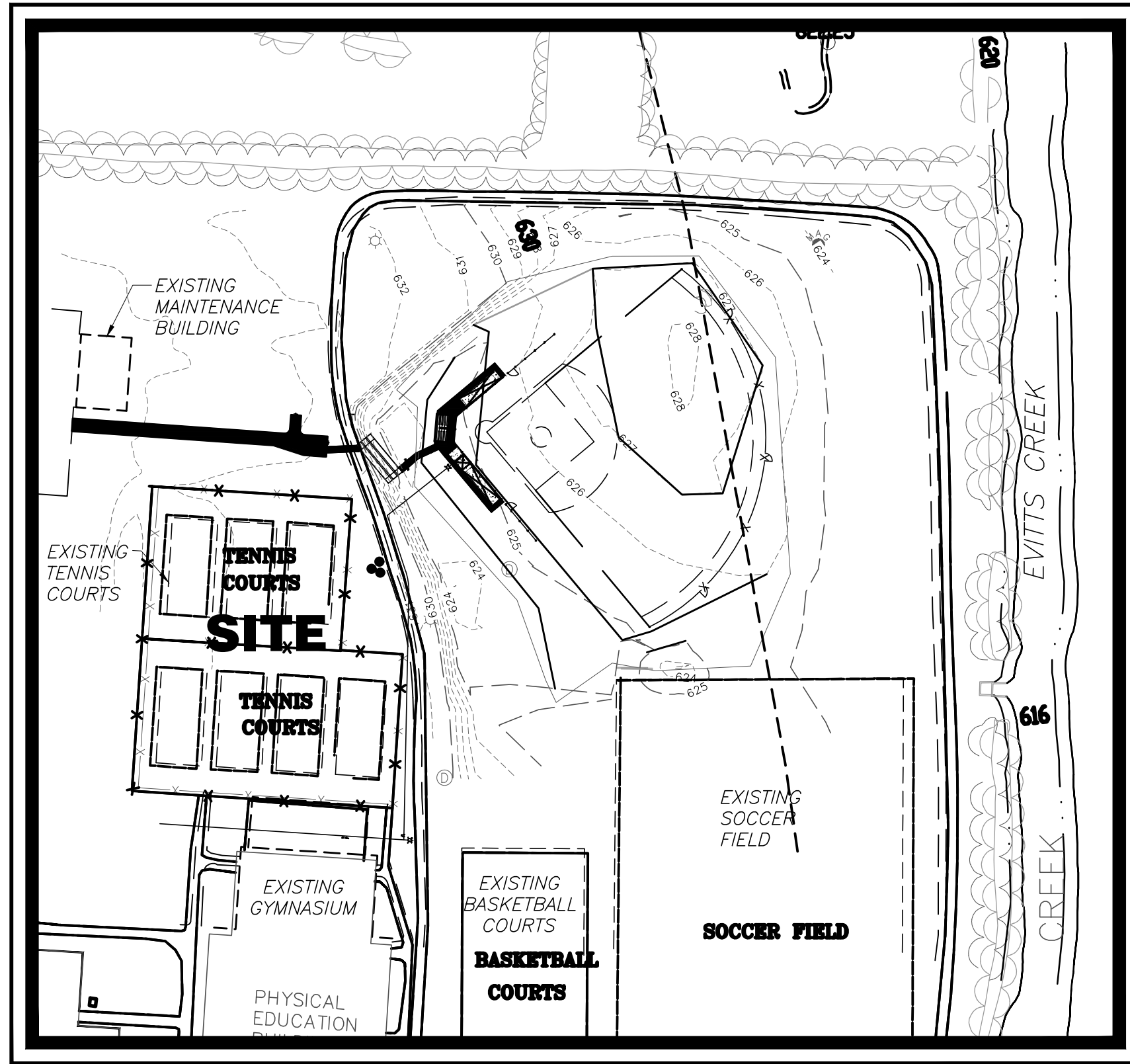


SITE DEVELOPMENT PLAN FOR ALLEGANY COLLEGE OF MARYLAND - TENNIS COURT RENOVATION

LOCATION MAP:



SCALE: 1" = 100'

SITE DATA:

TYPE OF USAGE: COLLEGE
 ACREAGE: 308.49 ACRES
 ZONING: RO- RESIDENTIAL OFFICE
 PHYSICAL ADDRESS: 12401 WILLOWBROOK ROAD CUMBERLAND, ALLEGANY COUNTY, MD.
 PURPOSE OF PLAN: TENNIS COURT RENOVATION
 STORMWATER QUALITY: N/A
 STORMWATER QUANTITY: N/A
 DISTURBED AREA: 1.29 ACRES

SHEET INDEX:

COVER SHEET C.1.0
 EXISTING CONDITIONS..... C.2.0
 SITE PLAN..... C.3.0
 SITE PLAN ADD-ALTERNATES..... C.3.1
 EROSION/SEDIMENT CONTROL..... C.4.0
 SITE NOTES AND DETAILS..... C.5.0
 SITE DETAILS..... C.5.1

PROJECT CONTACTS:

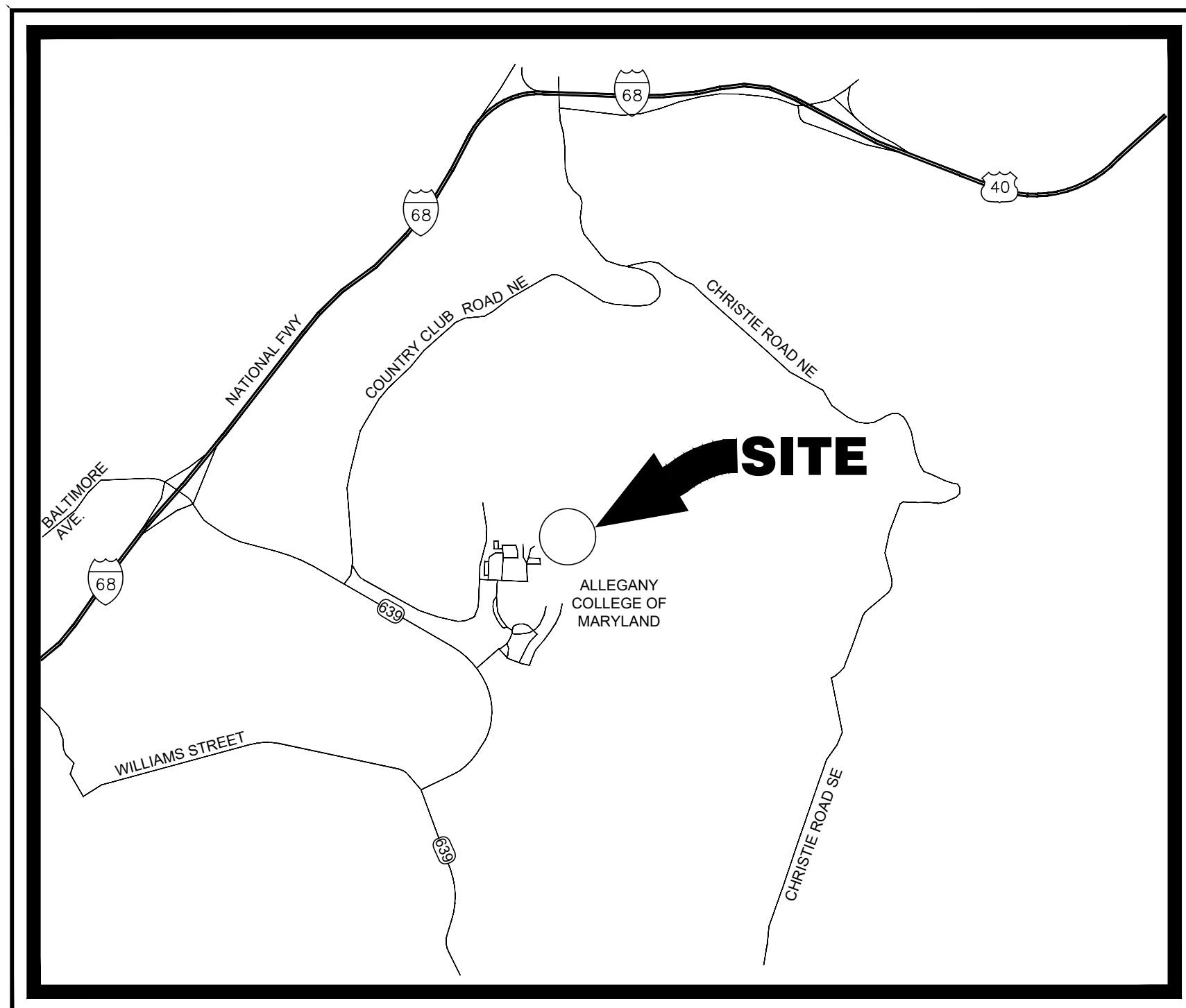
DEVELOPER: ALLEGANY COLLEGE OF MARYLAND
ADDRESS: 12401 WILLOWBROOK ROAD CUMBERLAND, MD. 21502
CONTACT: ADAM PHIPPS
PHONE NUMBER: 301-784-5195
OWNER: ALLEGANY COLLEGE OF MARYLAND
ADDRESS: 12401 WILLOWBROOK ROAD CUMBERLAND, MD. 21502
CONTACT: SHEILA DYCHE
PHONE NUMBER: 301-784-5195

GENERAL NOTES:

- TAX MAP 0026, GRID 012, PARCEL 0035
- ELECTION DISTRICT: 22
- DEED REFERENCE: BEING ALL OF THE LANDS CONVEYED BY WILLARD J. AND JEAN ALMA MOORE UNTO ALLEGANY COMMUNITY COLLEGE, BY DEED DATED DECEMBER 28, 1967 AND RECORDED AMONG THE LAND RECORDS OF ALLEGANY COUNTY, MARYLAND IN LIBER 415, AT FOLIO 147.
- SITE AREA = 308.491 AC.
- TOPOGRAPHIC FEATURES SHOWN HEREON WERE DERIVED FROM A TOPOGRAPHIC SURVEY PERFORMED BY TRIAD ENGINEERING, INC. DATED NOVEMBER, 4, 2020.
- UTILITY INFORMATION WAS PROVIDED BY OWNER.
- SITE IS ZONED "RO" - RESIDENTIAL OFFICE PER THE OFFICIAL ZONING MAP - CITY OF CUMBERLAND, MD.
- EXISTING AND PROPOSED USAGE IS A PUBLIC COLLEGE.
- THE PURPOSE OF THIS PLAN IS FOR THE COMPLETE RENOVATION OF THE TENNIS COURTS.
- MINIMUM REQUIREMENTS PER 6.03 DEVELOPMENT REGULATIONS OF THE CITY OF CUMBERLAND ZONING ORDINANCE:
 - LOT REQUIREMENTS:
 MINIMUM LOT AREA: 12,000 S.F.
 MINIMUM LOT WIDTH: 100'
 - FRONT BUILDING SETBACK LINES: 30'
 - SIDE BUILDING SETBACK LINES: 15'
 - REAR BUILDING SETBACK LINES: 35'

PROJECT NOTES:

- SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY TRIAD ENGINEERING, INC. ON NOVEMBER 12, 2020 TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK, OR OTHER NATURAL OR MAN-MADE FEATURES. EXCEPT AS SPECIFICALLY INDICATED, NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM NUMEROUS SOURCES INCLUDING, BUT NOT LIMITED TO PROPERTY OWNER, UTILITY OWNER, PAST SITE PLANS AND DRAWINGS AND LOCATION OF SURFACE FEATURES. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AND ANY OTHER UTILITY AND SUBSURFACE INVESTIGATIVE SERVICES AT (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S) OF WAY.
- THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT. ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY TOWN FOR WORK WITHIN TOWN RIGHT-OF-WAYS.
- TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNFORESEEN DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- TRIAD ENGINEERING, INC. WILL NOT BE RESPONSIBLE FOR ANYTHING TO DO WITH CONSTRUCTION UNLESS CONTRACTED BY THE OWNER OR CONTRACTOR TO PERFORM A SPECIFIC SERVICE.
- JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- NO TITLE REPORT HAS BEEN CONDUCTED BY THIS COMPANY OR FURNISHED TO US BY OTHERS. PROPERTY LINE INFORMATION HAS BEEN TAKEN FROM DEED (S) OF RECORD AND NOT FIELD VERIFIED.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER AND/OR DEVELOPER TO OBTAIN ALL NECESSARY EASEMENTS AND/OR RIGHT OF WAYS NECESSARY IN ORDER TO COMPLETE THE PROJECT SHOWN ON THESE PLANS. TRIAD ENGINEERING, INC. WILL ASSUME NO RESPONSIBILITY OR LIABILITY ASSOCIATED WITH THE ACQUIRING OF OFFSITE EASEMENTS AND RIGHT OF WAYS.
- SITE CONTRACTOR MAY HAVE TO MODIFY FINISH GRADES SHOWN NEXT TO BUILDINGS DUE TO TYPE OF WALL CONSTRUCTION PROVIDED. GENERALLY A MINIMUM FINISH GRADE 6 INCHES BELOW FINISH FLOOR FOR MASONRY CONSTRUCTION AND 12 INCHES BELOW FINISH FLOOR FOR WOOD/SIDING CONSTRUCTION SHOULD BE MAINTAINED. CONTRACTOR MUST PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL UNITS.
- IF A STORMWATER MANAGEMENT STRUCTURE IS PRESENT ON THIS SITE, CONSTRUCTION INSPECTION AND AS-BUILT CERTIFICATION OF THIS STRUCTURE OR STRUCTURES BY A REGISTERED PROFESSIONAL ENGINEER WILL BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE INSPECTING ENGINEER PRIOR TO THE START OF CONSTRUCTION IN ORDER TO DETERMINE WHEN INSPECTIONS WILL BE REQUIRED. IT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER WHEN THE STRUCTURE HAS BEEN COMPLETED AND STABILIZED IN ORDER THAT THE AS-BUILT SURVEY MAY BE PERFORMED. STABILIZATION IS DEFINED AS HAVING A STAND OF GRASS OR OTHER SUITABLE VEGETATIVE COVER AS SPECIFIED ON THESE PLANS.
- FINAL APPROVAL OF A STORMWATER MANAGEMENT STRUCTURE MUST BE GRANTED BY THE APPROPRIATE GOVERNMENT AGENCY/AGENCIES. APPROVAL BY THE INSPECTING ENGINEER DOES NOT GUARANTEE THAT ADDITIONAL WORK WILL NOT HAVE TO BE PERFORMED ON A STORMWATER MANAGEMENT STRUCTURE IN ORDER FOR IT TO COMPLY WITH THE STANDARDS OF THE GOVERNMENT AGENCY OR AGENCIES THAT ARE RESPONSIBLE FOR APPROVING THE STRUCTURE. TRIAD ENGINEERING, INC., ITS PERSONNEL AND ITS SUBCONTRACTORS WILL NOT BE LIABLE FOR ANY ADDITIONAL WORK ASSOCIATED WITH A STORMWATER MANAGEMENT STRUCTURE IN ORDER TO HAVE IT CONFORM TO NECESSARY STANDARDS.
- ALL SPECIFICATIONS SHOWN HEREIN SHALL BE USED AND LOCAL, STATE AND FEDERAL SPECIFICATIONS SHALL BE MINIMUM STANDARD.



VICINITY MAP:
SCALE: 1" = 2,000'

TRIAD ENGINEERING, INC.
 1075-D SHERMAN AVENUE
 HAGERSTOWN, MD 21740
 PH: 301.797.6400 FAX: 301.797.2424
 OFFICE LOCATIONS
 MARYLAND • PENNSYLVANIA • VIRGINIA • WEST VIRGINIA

REV. #	DATE	DESCRIPTION

CADD FILE: 03-20-0760-C-1.0	CHECKED BY: E.H.I.	SCALE: 1"=30'
DRAWN BY: STAFF	DATE: 03-13-24	

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 59438 EXPIRATION DATE: 5/25/24



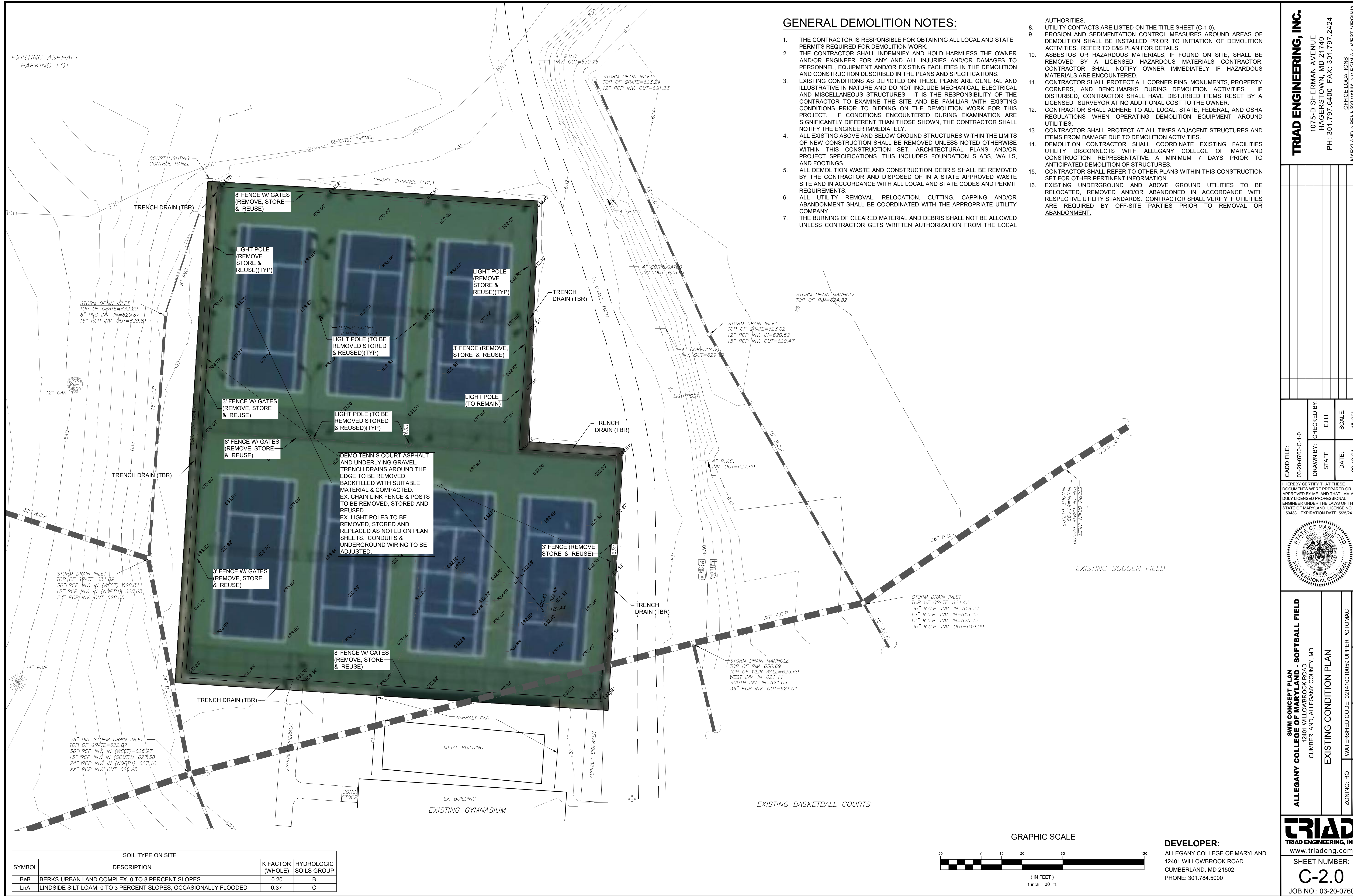
SITE DEVELOPMENT PLAN ACM - TENNIS COURT RENOVATION 12401 WILLOWBROOK ROAD CUMBERLAND, ALLEGANY COUNTY, MD	COVER SHEET	
	WATERSHED CODE: 021410010059 UPPER POTOMAC	ELEC. DIST.: 22
ZONING: RO	GRID: 0012	PARCEL: 0035
TAX MAP: 0026		

TRIAD ENGINEERING, INC.
 www.triadeng.com

SHEET NUMBER:
C-1.0

JOB NO.: 03-20-0760

DEVELOPER:
 ALLEGANY COLLEGE OF MARYLAND
 C/O SHEILA DYCHE
 12401 WILLOWBROOK ROAD
 CUMBERLAND, MD 21502
 PHONE: 301.784.5000



GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
3. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
4. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
5. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
7. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL

8. UTILITY CONTACTS ARE LISTED ON THE TITLE SHEET (C-1.0).
9. EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO E&S PLAN FOR DETAILS.
10. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
11. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
13. CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
14. DEMOLITION CONTRACTOR SHALL COORDINATE EXISTING FACILITIES UTILITY DISCONNECTS WITH ALLEGANY COLLEGE OF MARYLAND CONSTRUCTION REPRESENTATIVE A MINIMUM 7 DAYS PRIOR TO ANTICIPATED DEMOLITION OF STRUCTURES.
15. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
16. EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES TO BE RELOCATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH RESPECTIVE UTILITY STANDARDS. CONTRACTOR SHALL VERIFY IF UTILITIES ARE REQUIRED BY OFF-SITE PARTIES PRIOR TO REMOVAL OR ABANDONMENT.

TRIAD ENGINEERING, INC.
 1075-D SHERMAN AVENUE
 HAGERSTOWN, MD 21740
 PH: 301.797.6400 FAX: 301.797.2424
 OFFICE LOCATIONS
 MARYLAND • PENNSYLVANIA • VIRGINIA • WEST VIRGINIA

REV. #	DATE	DESCRIPTION	BY

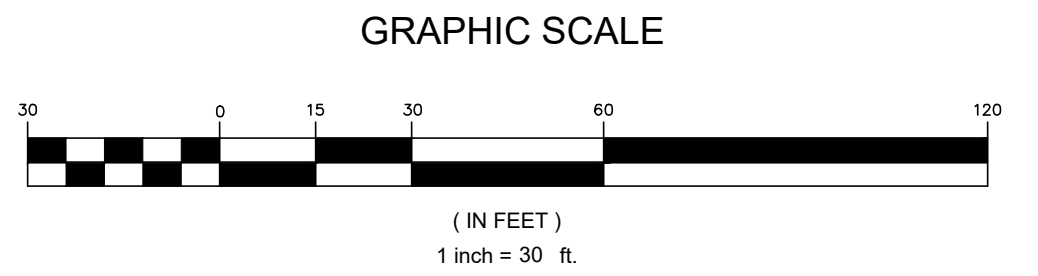
CADD FILE: 03-20-0760-C-1-0	CHECKED BY: E.H.I.	SCALE: 1"=30'
DRAWN BY: STAFF	DATE: 03-13-24	

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SWIM CONCERT PLAN ALLEGANY COLLEGE OF MARYLAND - SOFTBALL FIELD 12401 WILLOWBROOK ROAD CUMBERLAND, ALLEGANY COUNTY, MD	EXISTING CONDITION PLAN	
	ZONING: RO	WATERSHED CODE: 021410010059 UPPER POTOMAC
	TAX MAP: 0026	GRID: 0012 PARCEL: 0035 ELEC. DIST.: 22

TRIAD
 TRIAD ENGINEERING, INC.
 www.triadeng.com
 SHEET NUMBER:
C-2.0
 JOB NO.: 03-20-0760

SOIL TYPE ON SITE			
SYMBOL	DESCRIPTION	K FACTOR (WHOLE)	HYDROLOGIC SOILS GROUP
BeB	BERKS-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	0.20	B
LnA	LINDSIDE SILT LOAM, 0 TO 3 PERCENT SLOPES, OCCASIONALLY FLOODED	0.37	C



DEVELOPER:
 ALLEGANY COLLEGE OF MARYLAND
 12401 WILLOWBROOK ROAD
 CUMBERLAND, MD 21502
 PHONE: 301.784.5000

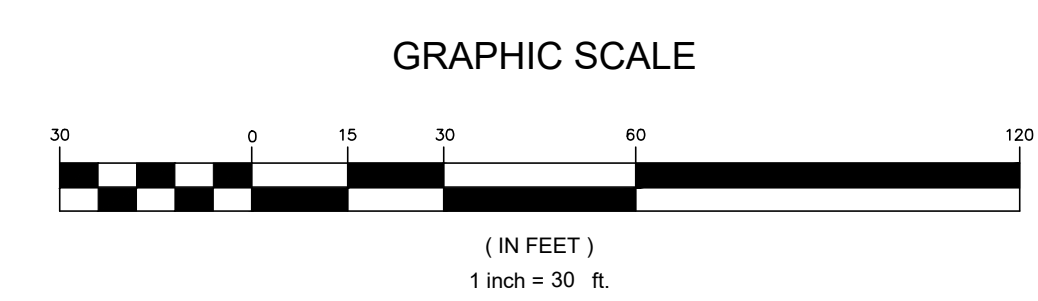


**OPTION #1 -
RENOVATION OF 7 TENNIS COURTS**

**OPTION #2 -
6 TENNIS COURTS & 2 PICKLEBALL COURTS**

- NOTES:**
- NEW LIGHTS TO MATCH OR CLOSELY MATCH EXISTING LIGHTS, COURTSIDER LIGHTING SYSTEM (OR EQUIVALENT), 1,000-WATT FIXTURES (300 WATT LED).
 - NET POSTS TO BE REMOVED, STORED, WIRE BRUSHED, PAINTED WITH A RUST PREVENTIVE PAINT AND REUSED. NEW NETS ARE TO BE PLACED ON ALL TENNIS COURTS. OFFICIAL PICKLEBALL NET POSTS & NETS WILL BE PLACED ON ALL PICKLEBALL COURTS IF OPTIONS 2 OR 3 IS DETERMINED TO BE CONSTRUCTED.
 - FINAL ASPHALT COURSE TO BE PLACED TO ENSURE NO RIDGES OR DEPRESSIONS OF MORE THAN 1/4" ARE VISIBLE. IF RIDGES OR DEPRESSIONS ARE FOUND, THEY MUST BE GROUND DOWN OR FILLED WITH A PATCH BINDER IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS USING ONE OR MORE COATS OF ASPHALT EMULSION FILLER COURSE PRIOR TO THE ACRYLIC PAINT APPLICATION.

SOIL TYPE ON SITE			
SYMBOL	DESCRIPTION	K FACTOR (WHOLE)	HYDROLOGIC SOILS GROUP
BeB	BERKS-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	0.20	B
LnA	LINDSIDE SILT LOAM, 0 TO 3 PERCENT SLOPES, OCCASIONALLY FLOODED	0.37	C



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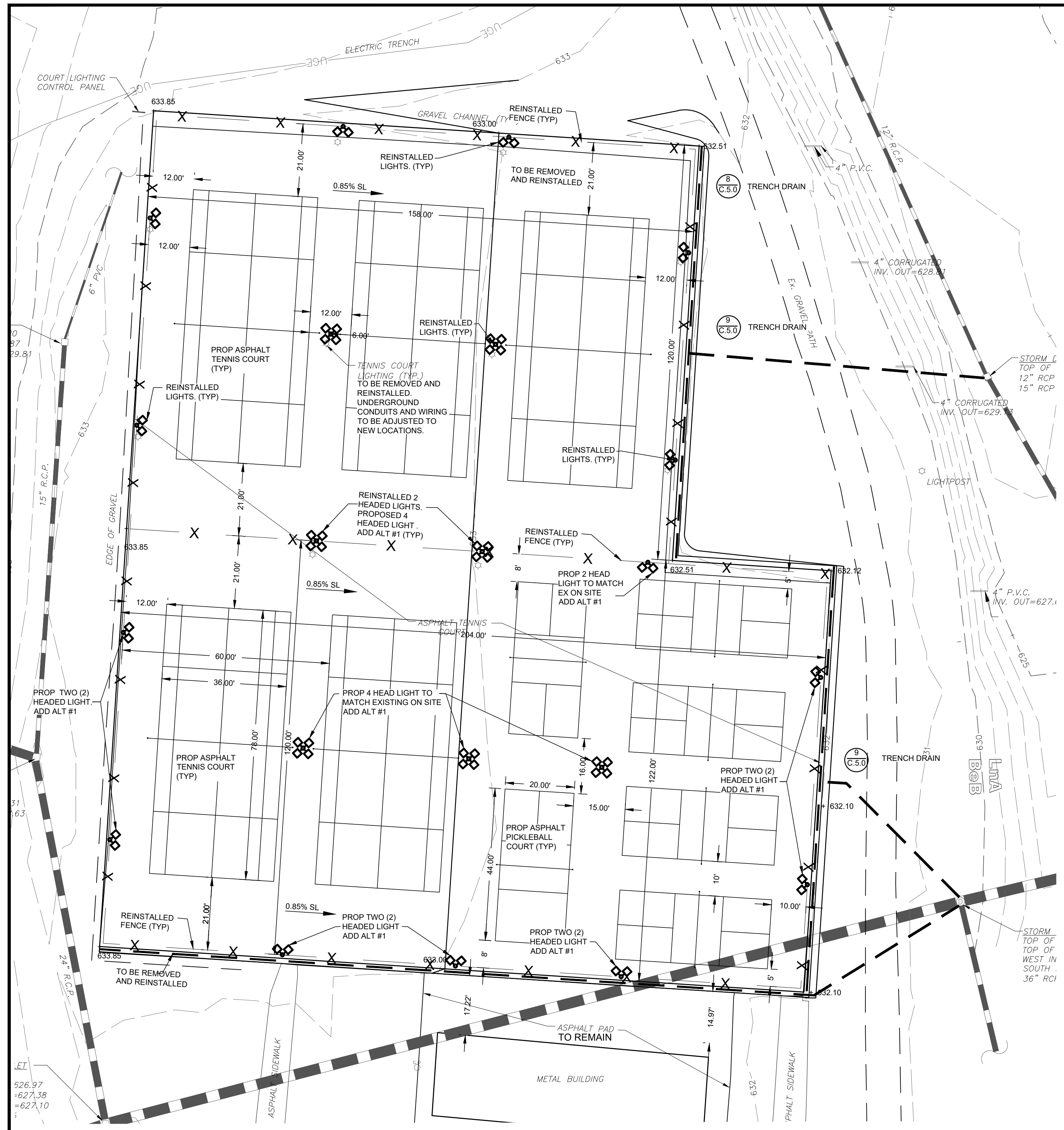
SITE PLAN	
ALLEGANY COLLEGE OF MARYLAND - TENNIS COURT RENOVATION	
12401 WILLOWBROOK ROAD CUMBERLAND, ALLEGANY COUNTY, MD	
SITE GRADING PLAN (OPTIONS 1 & 2)	
ZONING: RO	WATERSHED CODE: 021410010059 UPPER POTOMAC
TAX MAP: 0026	PARCEL: 0035
GRID: 0012	ELEC. DIST.: 22

DEVELOPER:
 ALLEGANY COLLEGE OF MARYLAND
 12401 WILLOWBROOK ROAD
 CUMBERLAND, MD 21502
 PHONE: 301.784.5000

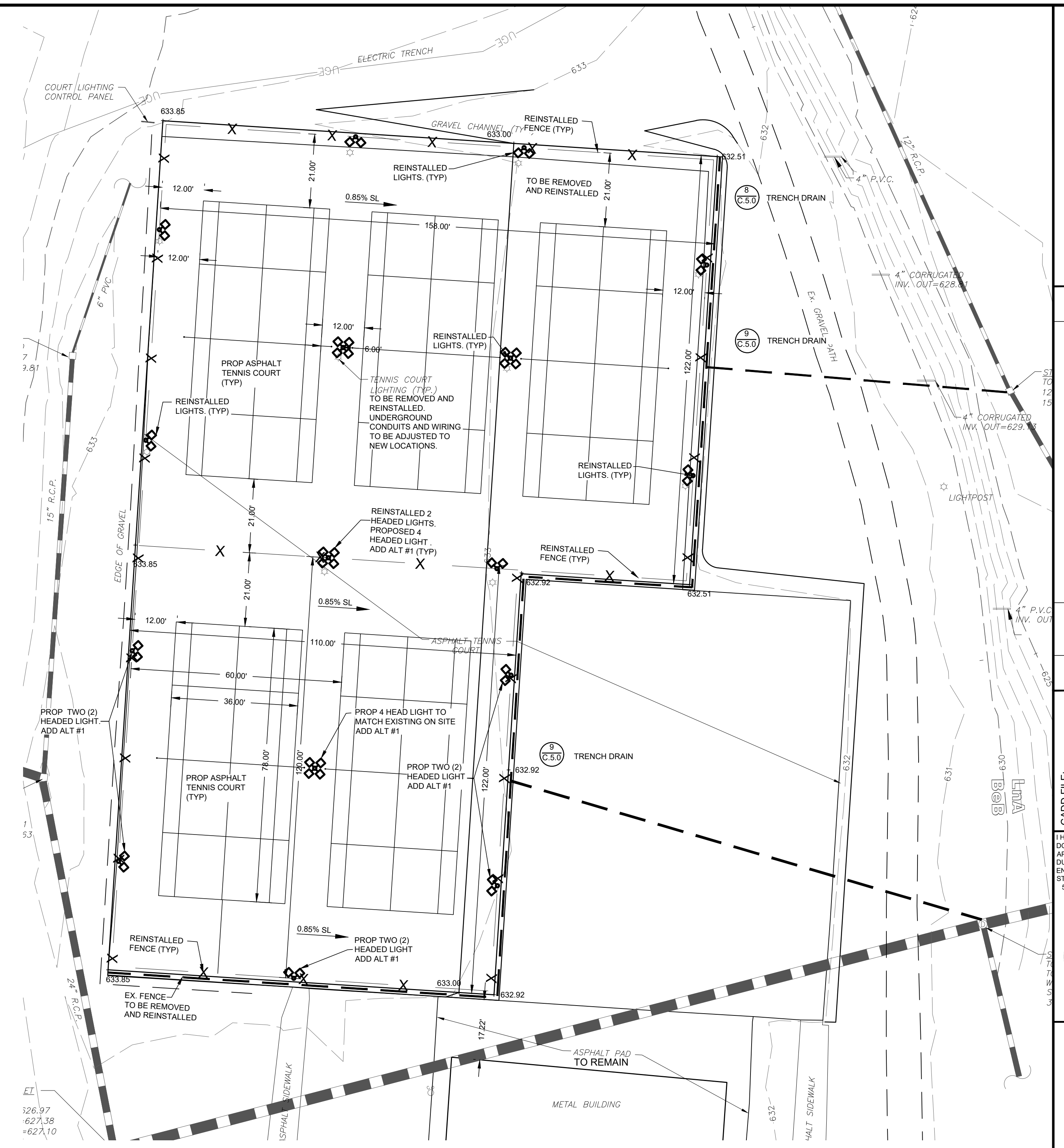
TRIAD ENGINEERING, INC.
 www.triadeng.com

SHEET NUMBER:
C.3.0

JOB NO.: 03-20-0760



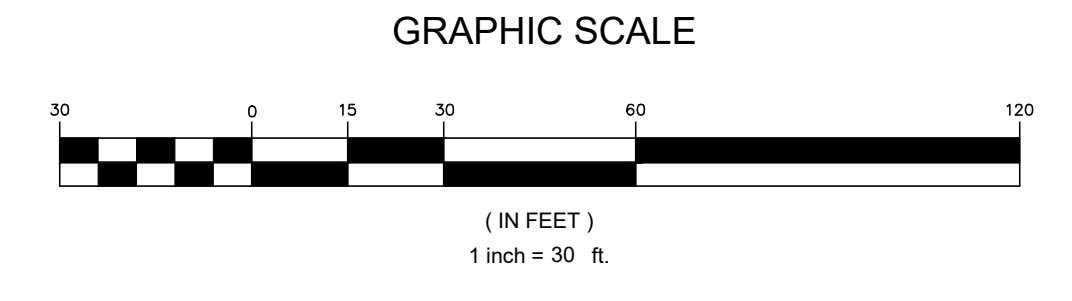
**OPTION #3
5 TENNIS COURTS & 6 PICKLEBALL COURTS**



**OPTION #4
5 TENNIS COURTS**

- NOTES:
1. NEW LIGHTS TO MATCH OR CLOSELY MATCH EXISTING LIGHTS, COURTSIDER LIGHTING SYSTEM (OR EQUIVALENT), 1,000-WATT FIXTURES (300 WATT LED).
 2. NET POSTS TO BE REMOVED, STORED, WIRE BRUSHED, PAINTED WITH A RUST PREVENTIVE PAINT AND REUSED. NEW NETS ARE TO BE PLACED ON ALL TENNIS COURTS. OFFICIAL PICKLEBALL NET POSTS & NETS WILL BE PLACED ON ALL PICKLEBALL COURTS IF OPTIONS 2 OR 3 IS DETERMINED TO BE CONSTRUCTED.
 3. FINAL ASPHALT COURSE TO BE PLACED TO ENSURE NO RIDGES OR DEPRESSIONS OF MORE THAN 1/8" ARE VISIBLE. IF RIDGES OR DEPRESSIONS ARE FOUND, THEY MUST BE GROUND DOWN OR FILLED WITH A PATCH BINDER IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS USING ONE OR MORE COATS OF ASPHALT EMULSION FILLER COURSE PRIOR TO THE ACRYLIC PAINT APPLICATION.

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LnA	LINDSIDE SILT LOAM, 0 TO 3 PERCENT SLOPES, OCCASIONALLY FLOODED	0.37	C



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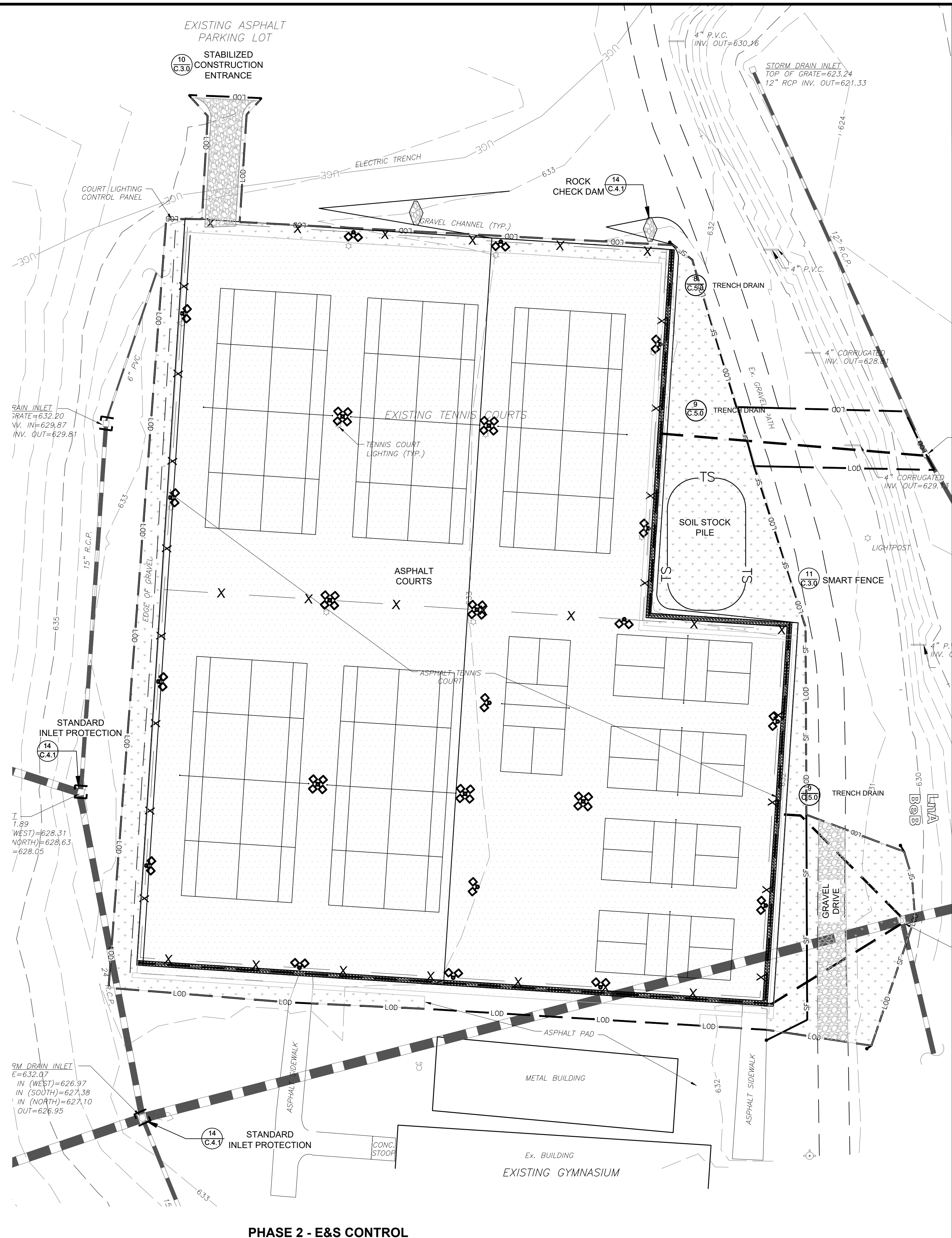
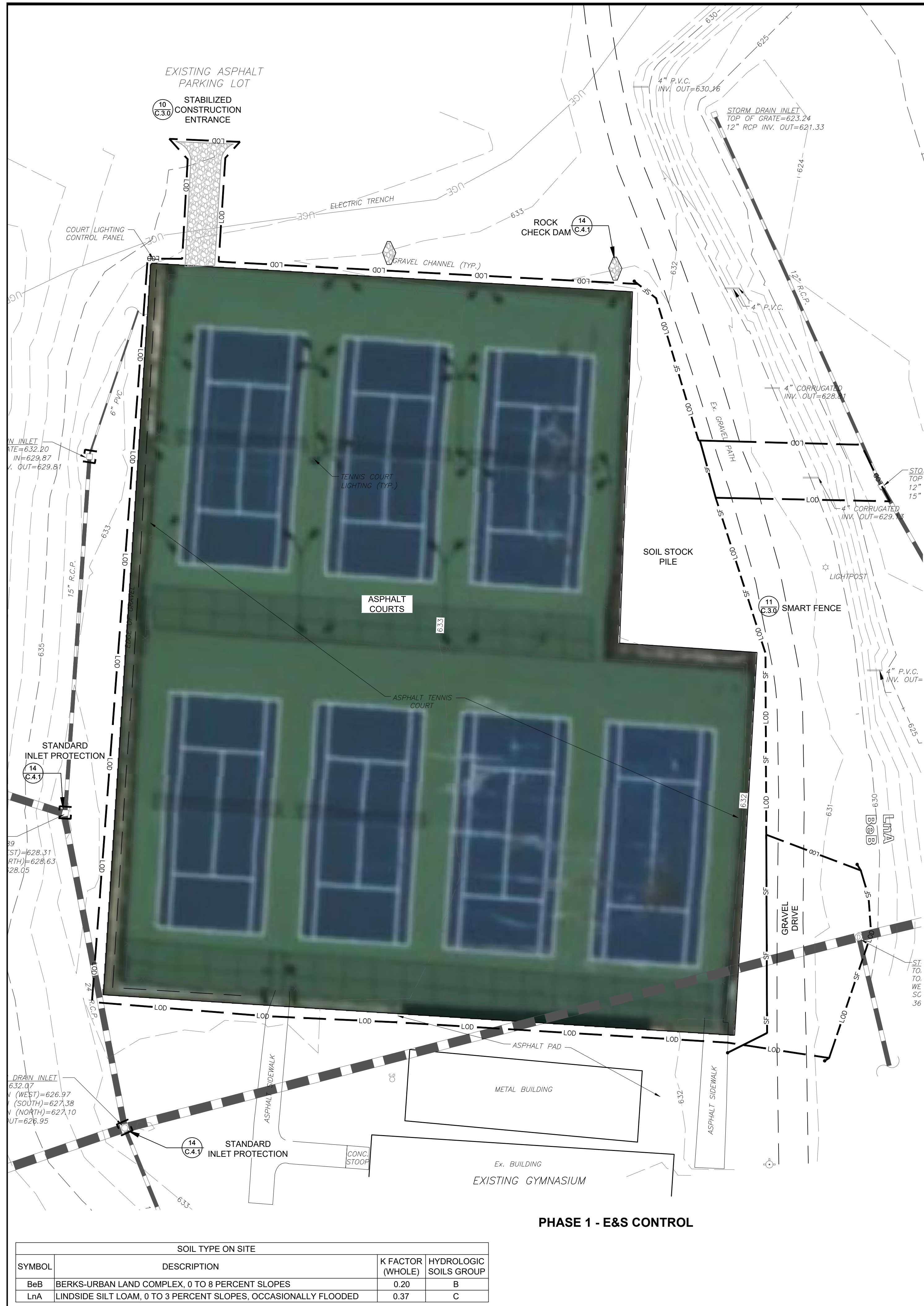
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DRAWN BY:	STAFF
CHECKED BY:	EHI
DATE:	03-13-24
SCALE:	1"=30'

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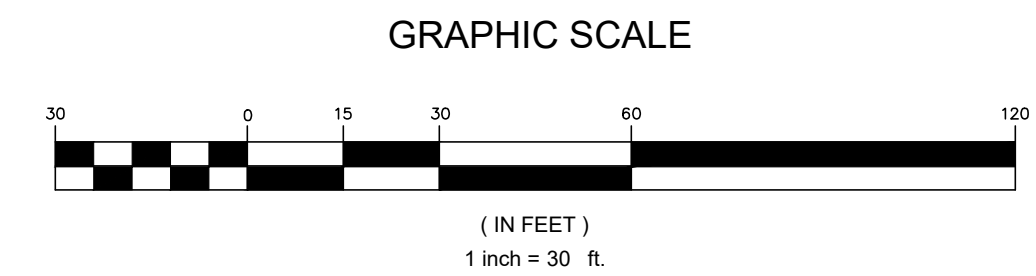


SITE PLAN	
ALLEGANY COLLEGE OF MARYLAND - TENNIS COURT RENOVATION	
12401 WILLOWBROOK ROAD CUMBERLAND, ALLEGANY COUNTY, MD	
SITE GRADING PLAN - OPTIONS #3 & #4	
ZONING: RO	WATERSHED CODE: 021410010059 UPPER POTOMAC
TAX MAP: 0026	GRID: 0012 PARCEL: 0035 ELEC. DIST.: 22

TRIAD ENGINEERING, INC.
www.triadeng.com
SHEET NUMBER:
C-3.1
JOB NO.: 03-20-0760



SOIL TYPE ON SITE			
SYMBOL	DESCRIPTION	K FACTOR (WHOLE)	HYDROLOGIC SOILS GROUP
BeB	BERKS-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	0.20	B
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DEVELOPER:
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 12401 WILLOWBROOK ROAD
 CUMBERLAND, MD 21502
 PHONE: 301.784.5000

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 1075-D SHERMAN AVENUE
 HAGERSTOWN, MD 21740
 PH: 301.797.6400 FAX: 301.797.2424

OFFICE LOCATIONS
 MARYLAND • PENNSYLVANIA • VIRGINIA • WEST VIRGINIA

REVISIONS

REV.#	DATE	DESCRIPTION

CADD FILE: 03-20-0760-C-4.0
 DRAWN BY: EHI
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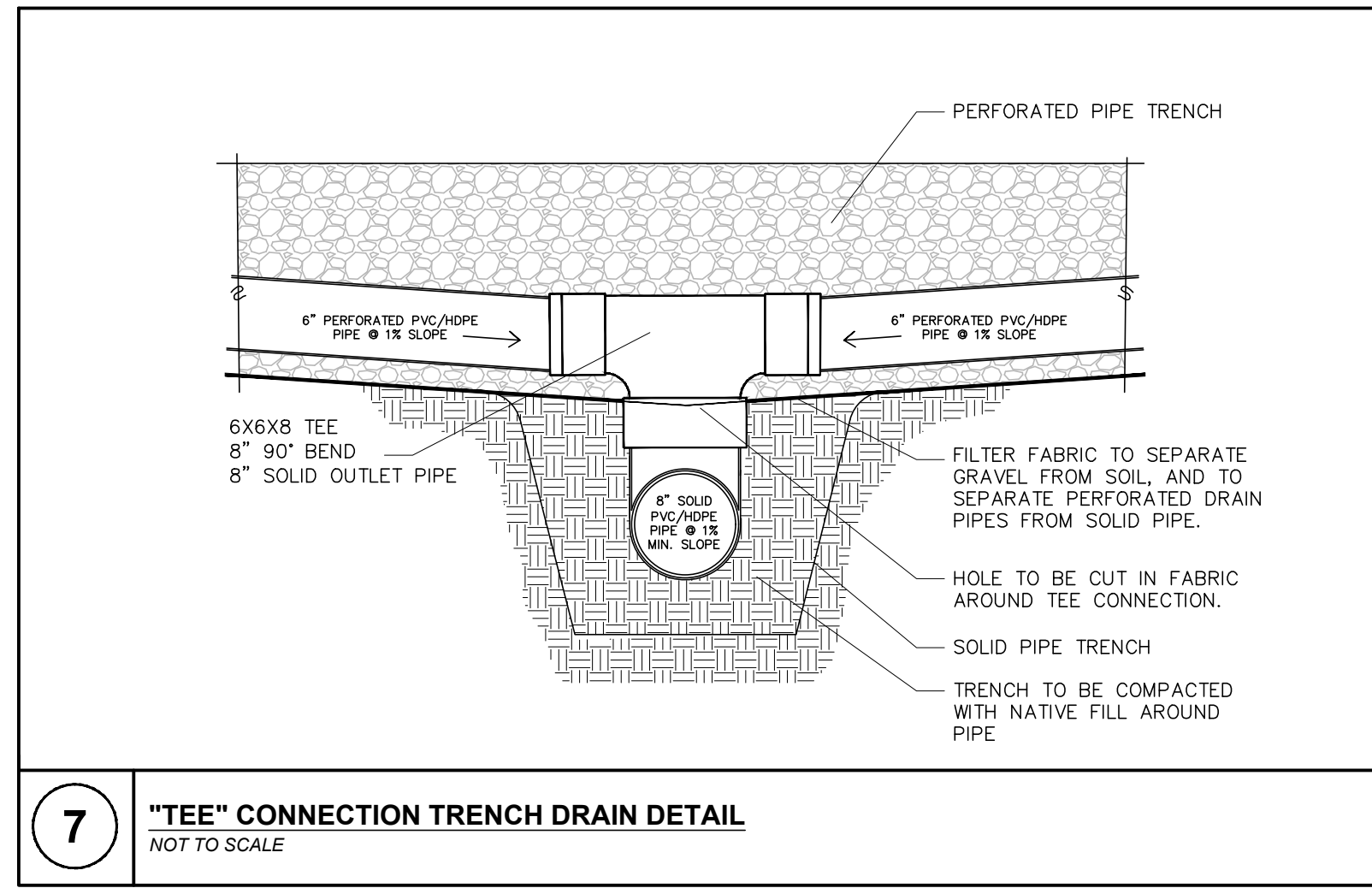
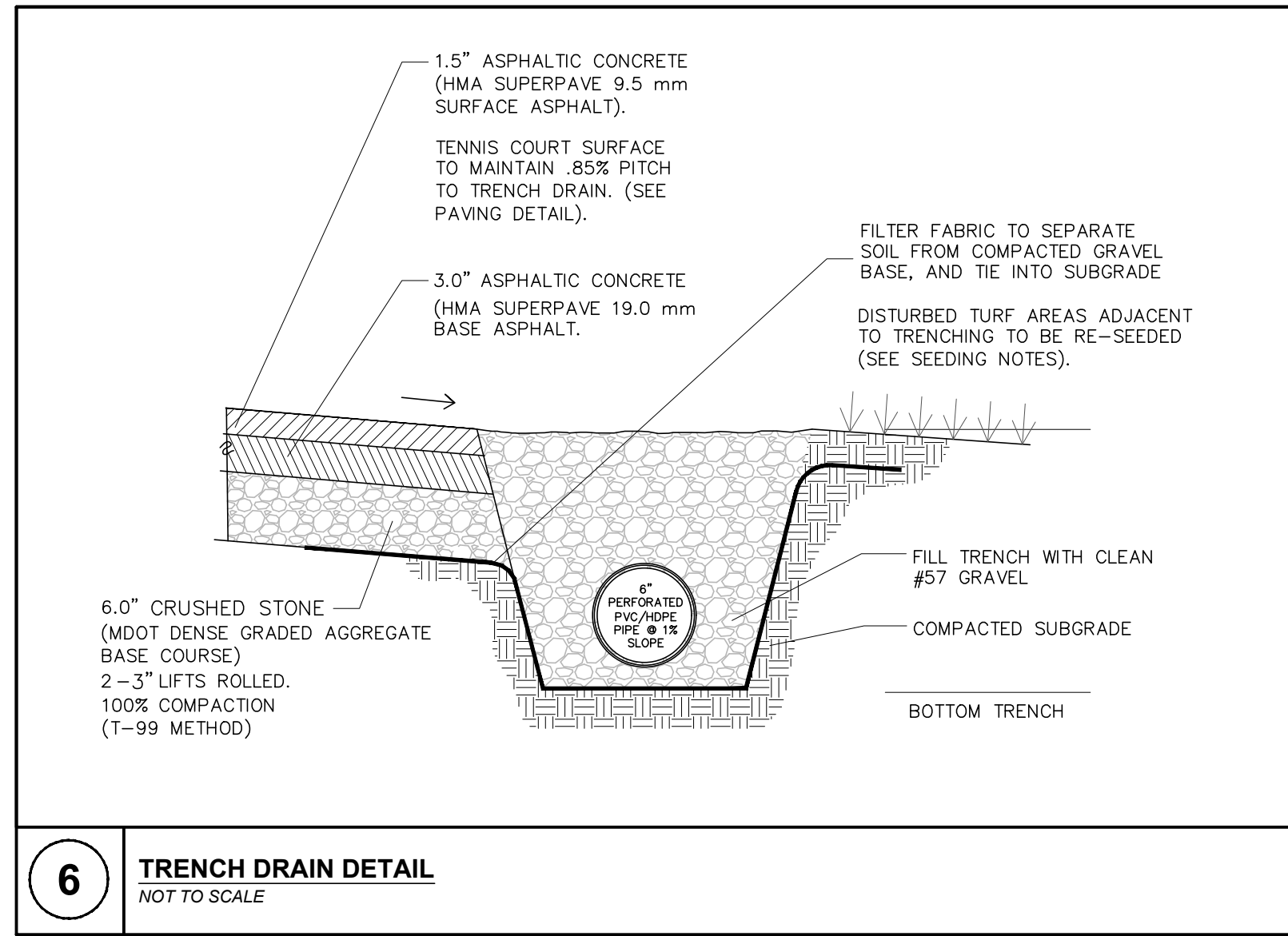
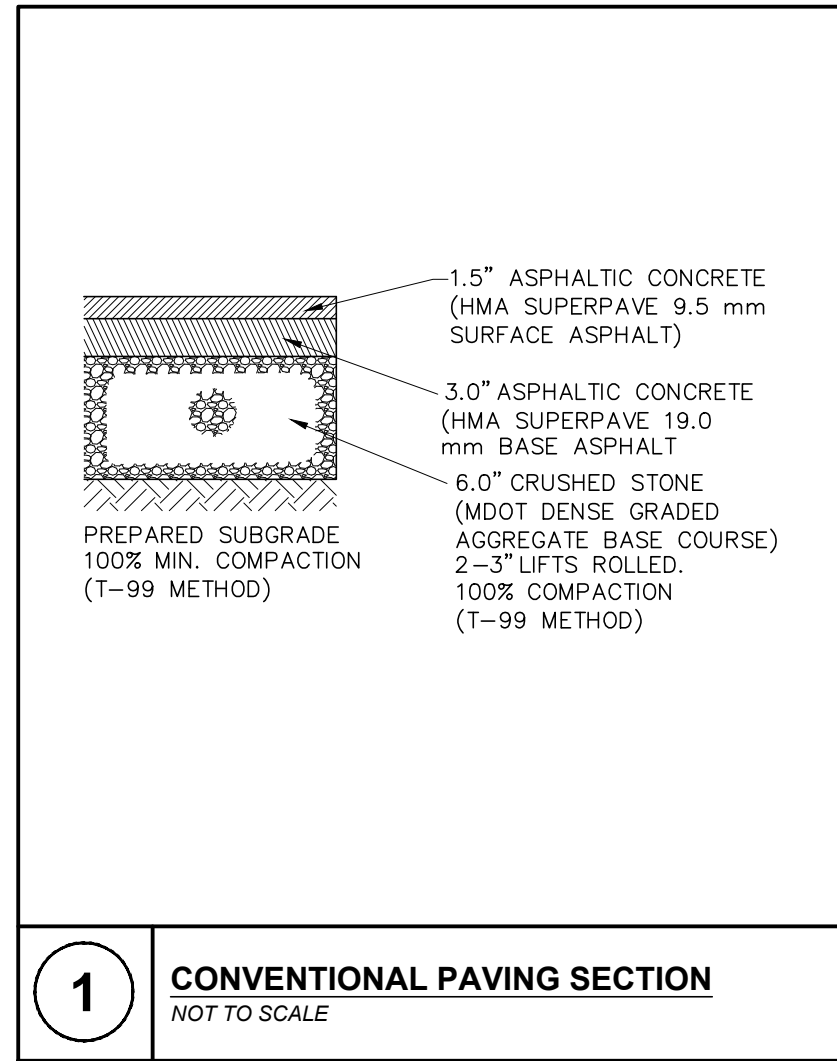
STATE OF MARYLAND
 STATE ENGINEER
 ERIC H. RISER
 PROFESSIONAL ENGINEER
 59438

ACM - TENNIS COURT RENOVATION PROJECT
 12401 WILLOWBROOK ROAD
 CUMBERLAND, ALLEGANY COUNTY, MD

EROSION/SEDIMENT CONTROL PLAN

ZONING: RO WATERSHED CODE: 021410010059 UPPER POTOMAC
 TAX MAP: 0026 GRID: 0012 PARCEL: 0035 ELEC. DIST.: 22

TRIAD ENGINEERING, INC.
 www.triadeng.com
 SHEET NUMBER: **C.4.0**
 JOB NO.: 03-20-0760



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SITE PLAN ACM - TENNIS COURT RENOVATION PROJECT 12401 WILLOWBROOK ROAD, CUMBERLAND, ALLEGANY COUNTY, MD		SITE DETAILS WATERSHED CODE: 021410010059 UPPER POTOMAC ZONING: RO TAX MAP: 0026 GRID: 0012 PARCEL: 0035 ELEC. DIST.: 22	
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DEVELOPER:
 ALLEGANY COLLEGE OF MARYLAND
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